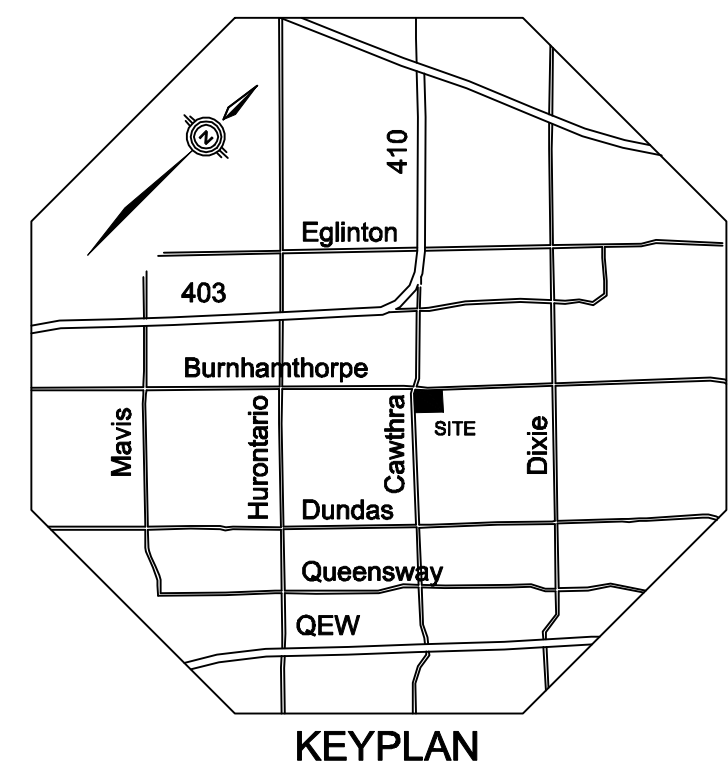
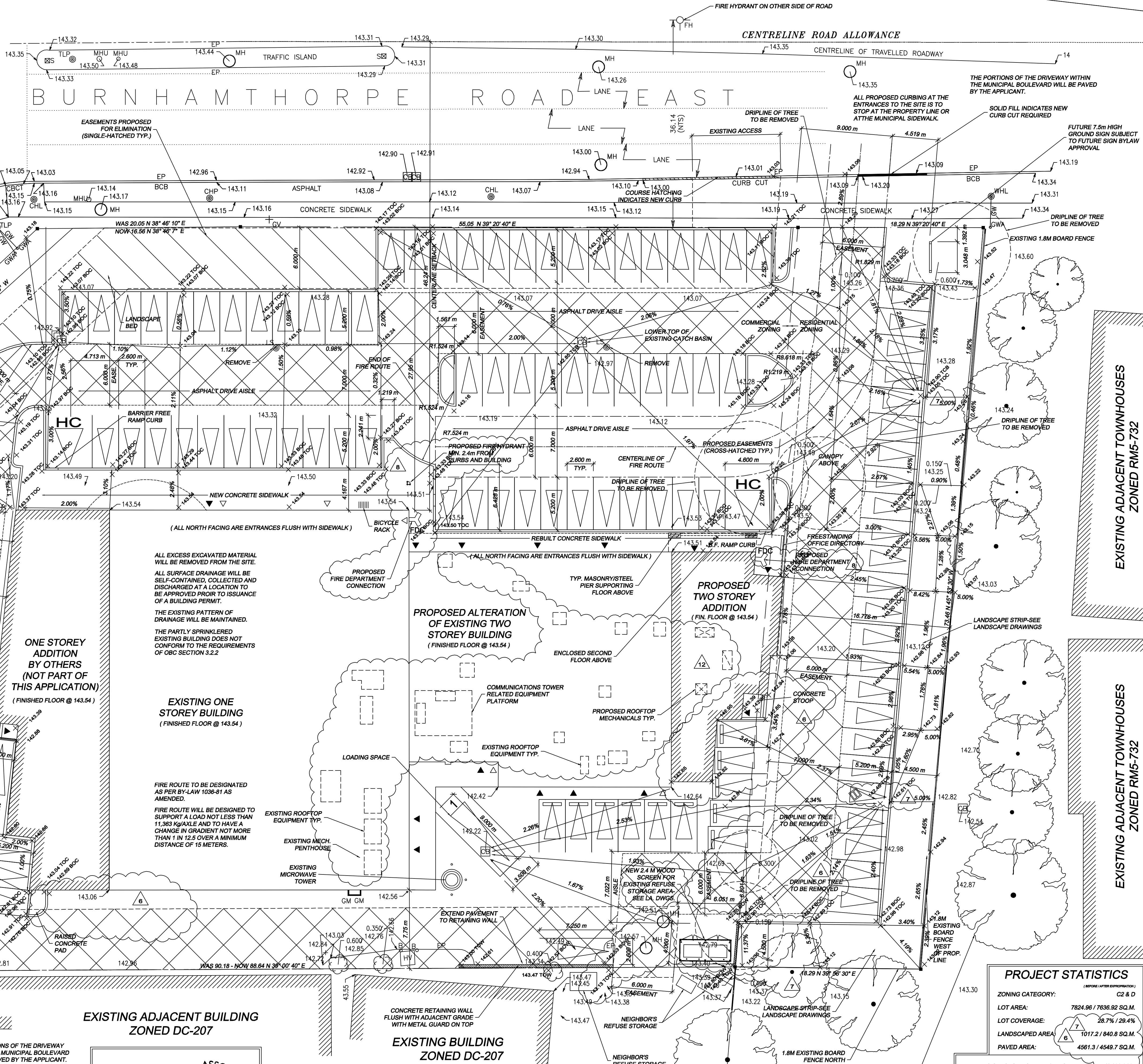
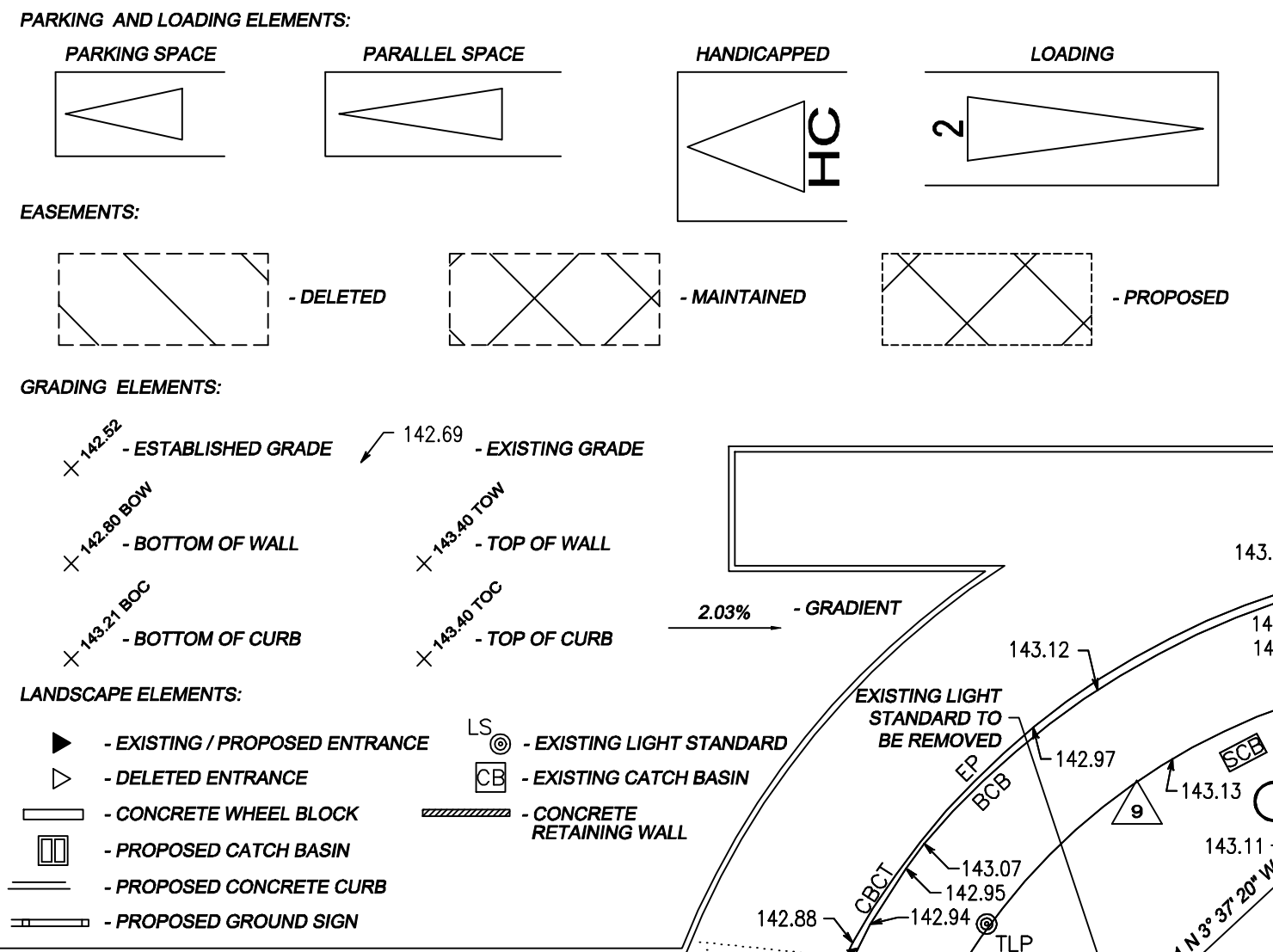


**DRAWING LEGEND**

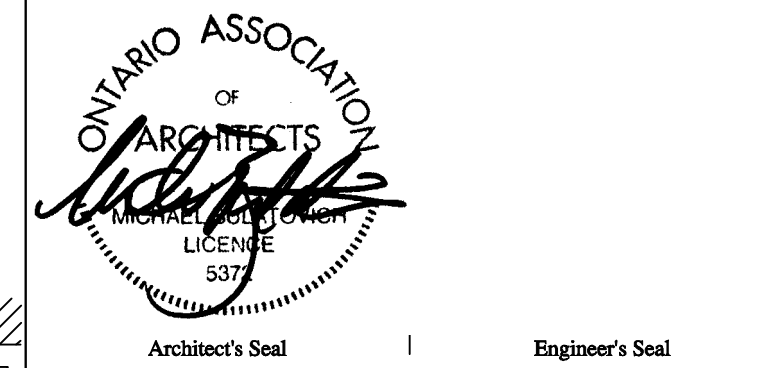


ISS.	REV.	COMMENTS	DATE
16		Permit Issue	30Jan08
15	12	Site Plan Review-Rooftop Units	25Jan08
14		Site Plan Review	22Jan08
13	11	Removed Landscaping on Regional Land	05Dec07
12	10	Update Landscape, Move Refuse Storage	07Nov07
11	9	Add Landscaping for Region	01Nov07
10		Encroachment Agreement	23 Oct07
9		Fire Department	25Sep07
8	8	Hydrant + Siamese added	28Aug07
7	7	Site Plan Review - Refuse Area Revision	15Aug07
6	6	Site Plan Review - General Revision	13Jul07
5	5	Clarify & Add Easement Dimensions	09May07
4	4	Site Plan Review - General Revision	07May07
3	3	Site Plan Review - General Revision	23Apr07
2	2	Site Plan Review - General Revision	13Mar07
1	1	Client Approval	27Feb07
1		Site Plan Approval	01Nov06
		COMMENTS	DATE

**Michael Bulatovich**  
 Architect

Tel: (416) 406-1531 Fax: (416) 406-5928

The Contractor is to verify all dimensions on site before building and report any error, omissions, or discrepancies to the architect. Drawings are instruments of service and remain the property of the architect. Copyright of the drawings and the work executed thereon are reserved by the architect. Drawings are not to be scaled. Drawings are not for construction unless signed by the architect.



**Key Plan**  
**Site Statistics**  
**Site Plan**

Alterations and Addition to a  
**Commercial Plaza**  
 700 Burnhamthorpe Road E.  
 MISSISSAUGA, ONTARIO  
 for WAB Investments Ltd.

SCALE: 1:200  
 FILE: Cawthra2  
 PLOT DATE: 30Jan08  
 PROJECT NO.: 0605  
 DRAWN BY: MB

**A1**

All exterior lighting will be directed onto the site and will not intrude upon the adjacent properties.  
 All roof-top mechanical units shall be screened from view by the applicant.  
 The applicant is responsible for ensuring that all plans conform to Transport Canada's restrictions.  
 Grades will be met within a 33% maximum slope at the property lines and within the site.  
 All damaged areas are to be reinstated with topsoil and sod prior to the release of securities.  
 Parking spaces reserved for people with disabilities must be identified by a sign, installed at the applicant's expense, in accordance with the design specifications of Figure 1 to Schedule 1 of By-Law 134-83.

The City of Mississauga requires that all working drawings submitted to the Building Division as part of an application for the issuance of a building permit shall be certified by an architect or a professional engineer as being in conformity with the site development plans approved by the City of Mississauga.

SIGNAGE SHOWN ON THE SITE PLAN DEVELOPMENTS PLANS IS FOR INFORMATION PURPOSES ONLY. ALL SIGNS WILL BE SUBJECT TO THE PROVISIONS OF THE SIGN BY-LAW 004-2002, AS AMENDED AND A SEPARATE SIGN APPLICATION WILL BE REQUIRED THROUGH THE BUILDING DIVISION.

I hereby certify that this drawing conforms in all respects to the site development plans as approved by the City of Mississauga under the file number SP 09234 W2.

**ONTARIO ASSOCIATION OF ARCHITECTS**  
 LICENCE 537

**LEGAL DESCRIPTION:**  
 LOT 3.5 & 6 PLAN 357

**APPLICANT INFORMATION:**  
 GLEN SCHNARR & ASSOCIATES, GLEN BROLL  
 700-10 KINGSBRIDGE GARDEN CIRCLE  
 MISSISSAUGA, ONTARIO L5R 9K8  
 905-668-6988

**OWNER INFORMATION:**  
 WAB INVESTMENTS LTD., MARTA WITER  
 700 BURNHAMTHORPE RD. EAST  
 MISSISSAUGA, ONTARIO L4Y 2X3

**PROJECT STATISTICS**  
 (BEFORE / AFTER ENCROACHMENT)

ZONING CATEGORY:	C2 & D
LOT AREA:	7824.96 / 7836.92 SQ.M.
LOT COVERAGE:	28.7% / 29.4%
LANDSCAPED AREA:	1017.2 / 840.8 SQ.M.
PAVED AREA:	4561.3 / 4546.7 SQ.M.

PARKING SPACES REQUIRED / PROVIDED: \*\* 128 / 117  
 LOADING SPACES REQUIRED / PROVIDED: \*\* 2 / 1  
 HANDICAPPED SPACES REQUIRED / PROVIDED: 2 / 2

\*\* MINOR VARIANCES HAVE BEEN GRANTED UNDER FILE # 'A' 22307 AND CONSENT UNDER 'B' 3207  
 (FOR PARKING SPACES BREAKDOWN SEE DWG SP-6)  
 (FOR GROSS FLOOR AREA BREAKDOWN SEE DWG SP-6)  
 (FOR LOT AREA BREAKDOWN SEE DWG SP-6)