

| Item | Ontario Building Code Data Matrix Parts 3, 9 & 11 | | OBC Reference (Division B unless noted as [A] or [C]) | | | |
|------|---|---|---|--|----------------------------------|-------------------|
| 1 | Project Description: <input type="checkbox"/> New <input checked="" type="checkbox"/> Addition <input type="checkbox"/> Alteration Addition of lift and lobby to existing building. <input type="checkbox"/> Change of Use | | <input type="checkbox"/> Part 11 11.1. to 11.4. | <input checked="" type="checkbox"/> Part 3 1.1.2. [A] | | |
| 2 | Major Occupancies | | GROUP A2, & D | | | |
| 3 | Building Area (M ²) | Existing: 309.1 New: 10.8 Total: 319.9 | 1.4.1.2. [A] | | | |
| 4 | Gross Area (M ²) | Existing: 614.5 New: 14.0 Total: 628.5 | 1.4.1.2. [A] | | | |
| 4a | Suite Area (M ²) | Existing: New: Total: | 1.4.1.2. [A] | | | |
| 5 | Number of Stories | Below Grade 0 Above Grade 2 | 1.4.1.2. [A] & 3.2.1.1. | | | |
| 6 | Number of Streets / Fire Access | 2 EXISTING | 2.2.2.10. & 3.2.5. | | | |
| 7 | Building Classification | 3.2.2.25 | 3.2.2.20. - .83. | | | |
| 8 | Sprinkler System Proposed | <input type="checkbox"/> Entire Building <input type="checkbox"/> Basement only <input type="checkbox"/> In Lieu of Roof Rating <input checked="" type="checkbox"/> Not Required | 3.2.2.20. - .83. 3.2.1.5. 3.2.2.17. | | | |
| 9 | Standpipe Required | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | 3.2.9. | | | |
| 10 | Fire Alarm Required | <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No | 3.2.4. | | | |
| 11 | Water Service / Supply Adequate | <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No | 3.2.5.7. | | | |
| 12 | High Building | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | 3.2.6. | | | |
| 13 | Permitted Construction Actual Construction | <input checked="" type="checkbox"/> Combustible <input type="checkbox"/> Non Combustible <input type="checkbox"/> Combustible <input checked="" type="checkbox"/> Non Combustible | 3.2.2.20. - .83. | | | |
| 14 | Mezzanine Area (M ²) | None | 3.2.1.1. (3) - (8) | | | |
| 15 | Occupant Load Based on: | <input checked="" type="checkbox"/> M ² /Person <input type="checkbox"/> Design of Building 1 st Floor 319.9 Occupancy Group A2 Load 1.85 Persons 173 2nd Floor 308.6 Occupancy Group D Load 9.30 Persons 34 | 3.1.17. | | | |
| 16 | Barrier-Free Design | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (No existing BFPOD on 2nd floor.) | 3.8. | | | |
| 17 | Hazardous Substances | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | 3.3.1.2. & 3.3.1.19. | | | |
| 18 | Required Fire Resistance Rating (FRR) | Horizontal Assemblies | Listed Design No. or Description (SB-2) | 3.2.2.20. - .83. & 3.2.1.4. SG-2.2.1.4 | | |
| | | Floors .75 Hours | Existing Unaltered or slab on grade | | | |
| | | Roof 0 Hours | 6" concrete = >2 hr. | | | |
| | | Mezzanine .75 Hours | Not applicable | | | |
| 19 | Spatial Separation - Construction of Exterior Walls 1 hour non-combustible. | FRR of Supporting Members | Listed Design No. or Description (SG-2) | SG-2.2.1.4 | | |
| | | Floors .75 Hours | Ex. Unalt. / New 6" concrete = > 2 hr. | | | |
| | | Roof 0 Hours | Not applicable | | | |
| 20 | Wall | Area of EBF (M ²) | FRR (Hours) | Comb. Const'n | Comb. Const'n Non-Comb. Cladding | Non-Comb. Const'n |
| | | North 172.7 | > 2 Hrs. | No | No | Yes |
| | | South 172.7 | > 2 Hrs. | No | No | Yes |
| | | East 105.3 | > 2 Hrs. | No | No | Yes |
| | | West NA | NA | NA | NA | NA |



Michael Bulatovich
 Architect
 Tel.: (416) 406-1531 Fax: (416) 406-5928

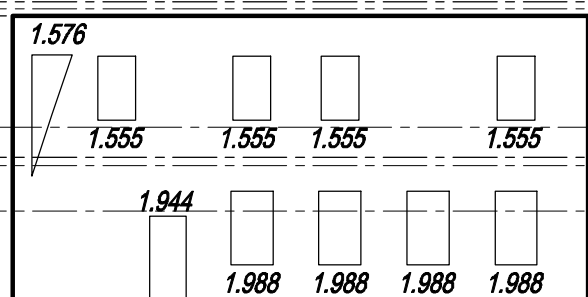
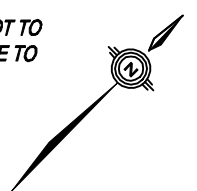
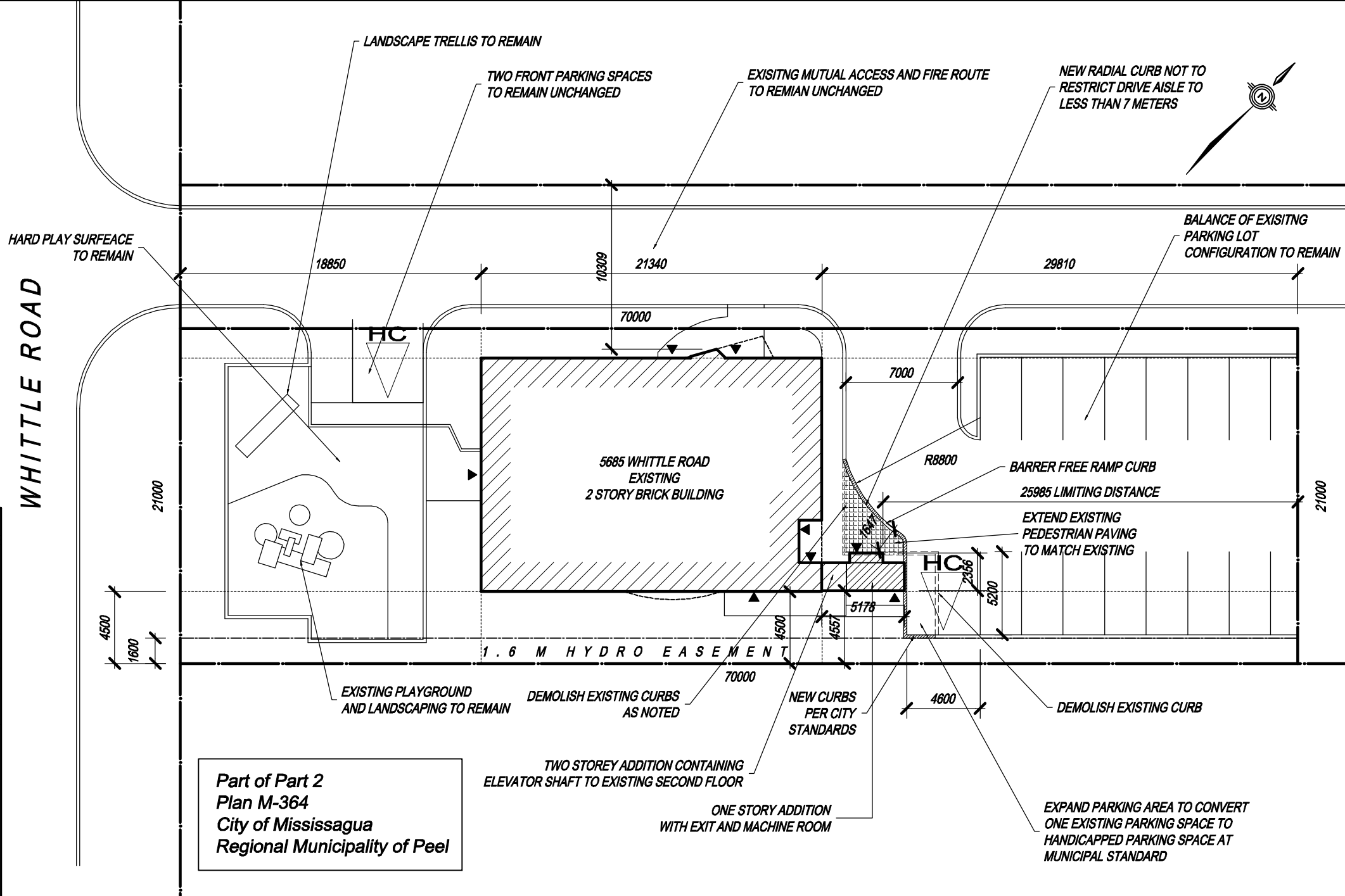
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 Drawings are not to be scaled.

OBC Matrix
 5685 Whittle Road

Drawing No. **A0**
 Last Revised: 13may08
 Plot Date: 13may08
 Project No.: 0703
 Issued for: WhittleRd3 Permit/SPAX

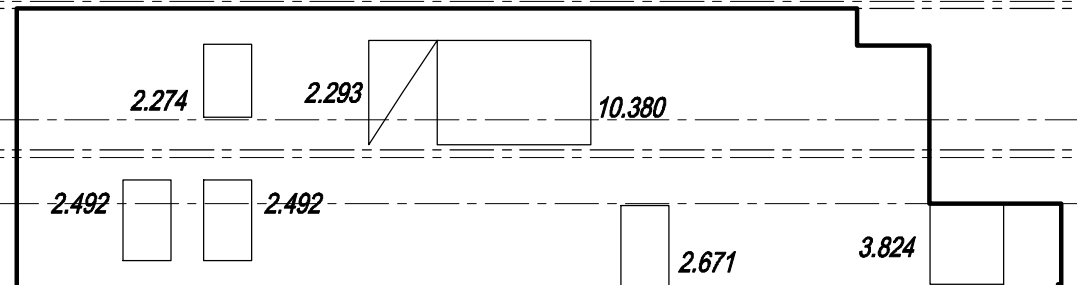


WHITTLE ROAD



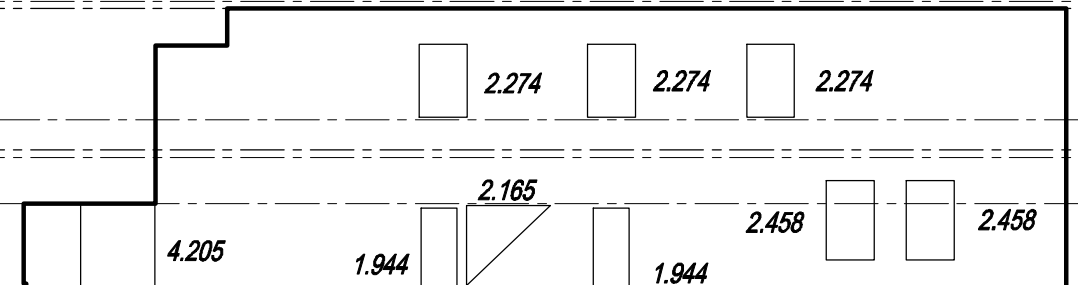
EBF= 105.3 SQ.M.
LD= 25.9 M
L/H RATIO < 3:1
PERMITTED U.P.O. = 100%

EBF-UPO EAST



EBF= 172.7 SQ.M.
LD= 4.5M
L/H RATIO = 3.6:1
U.P.O. = 15.3%
PERMITTED U.P.O. > 49%

EBF-UPO SOUTH



EBF= 172.7 SQ.M.
LD= 10.3M
L/H RATIO = 3.6:1
PERMITTED U.P.O. = 100%

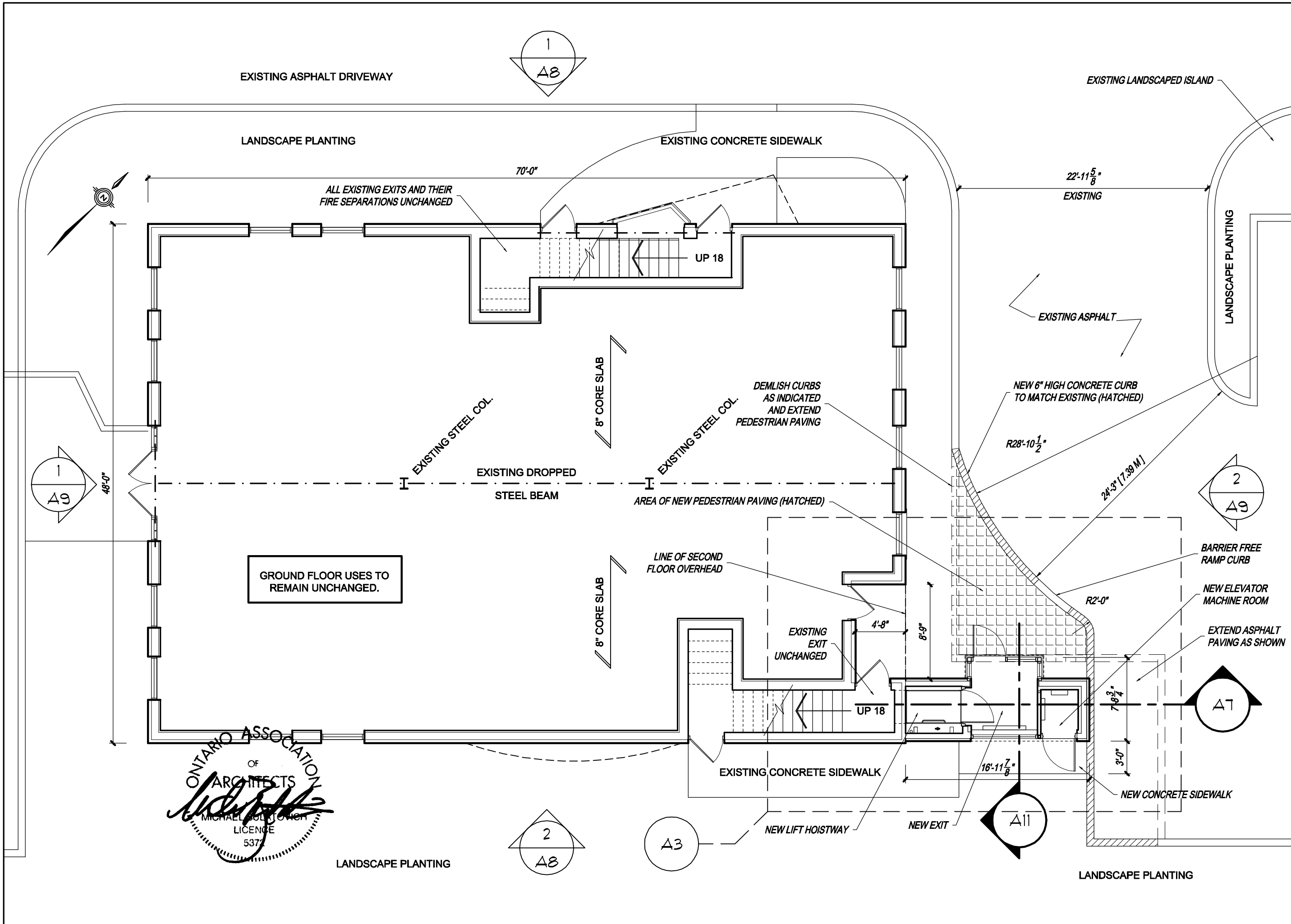
EBF-UPO NORTH

Part of Part 2
Plan M-364
City of Mississauga
Regional Municipality of Peel

Drawing No. **A1**
Site Plan / EBF-UPO Diagrams
5685 Whittle Road
Scale: 1:300
Project No.: 0703
CAD File: WhittleRd3
Last Revised: 13may08
Plot Date: 13may08
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Architect
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Fax: (416) 406-5928



ONTARIO ASSOCIATION
OF
ARCHITECTS
MICHAEL BULATOVICH
LICENCE
5371

Drawing No. **A2**

Ground Floor Plan
5685 Whittle Road

Scale: 1/8"=1'-0"

Last Revised: 13 may 08

Project No.: 0703

Plot Date: 13 may 08

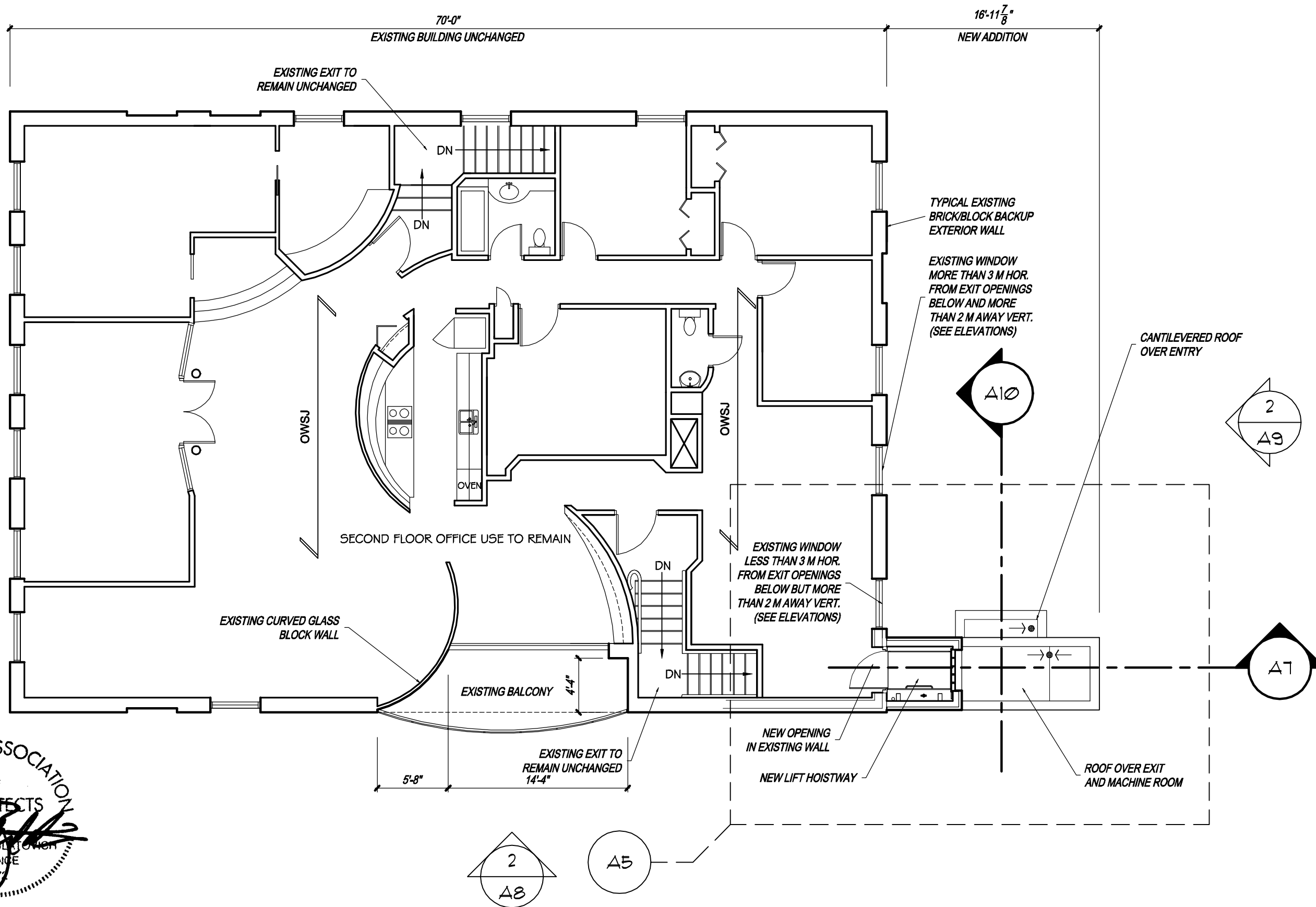
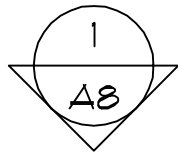
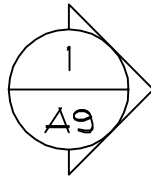
CAD File: WhittleRd3

Issued for: Permit/SPAX

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Architect

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Drawing No. **A4**
 5685 Whittle Road
 Scale: 1/8"=1'-0"
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 CAD File: WhittleRd3

Second Floor Plan
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Michael Bulatovich
 Architect
 Tel.: (416) 406-1531 Fax: (416) 406-5928

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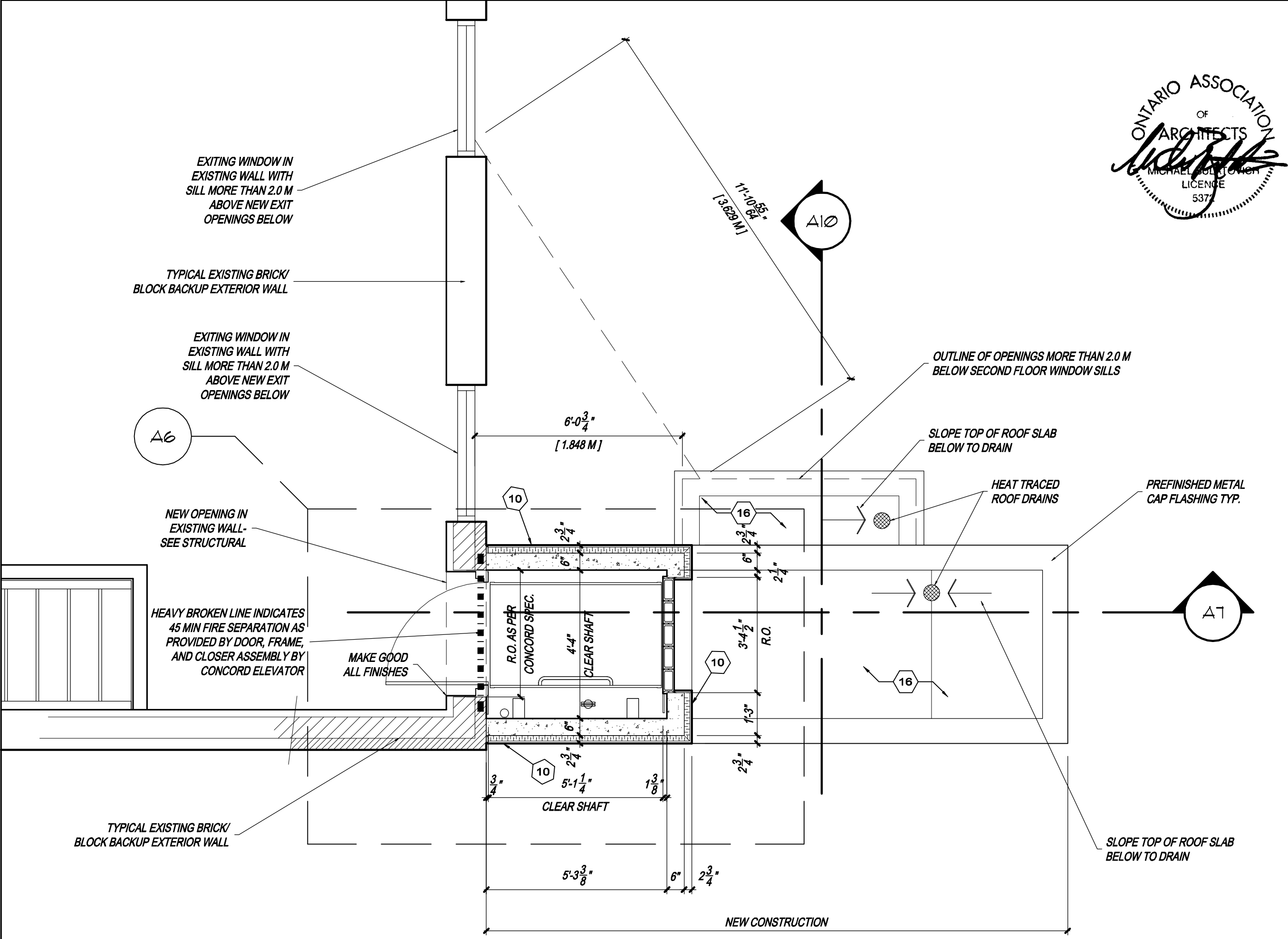


Drawing No. **A5**
 Last Revised: 13may08
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Detail Second Plan
 5685 Whittle Road

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EXITING WINDOW IN EXISTING WALL WITH SILL MORE THAN 2.0 M ABOVE NEW EXIT OPENINGS BELOW

TYPICAL EXISTING BRICK/BLOCK BACKUP EXTERIOR WALL

EXITING WINDOW IN EXISTING WALL WITH SILL MORE THAN 2.0 M ABOVE NEW EXIT OPENINGS BELOW

A6

NEW OPENING IN EXISTING WALL-SEE STRUCTURAL

HEAVY BROKEN LINE INDICATES 45 MIN FIRE SEPARATION AS PROVIDED BY DOOR, FRAME, AND CLOSER ASSEMBLY BY CONCORD ELEVATOR

MAKE GOOD ALL FINISHES

R.O. AS PER CONCORD SPEC.

CLEAR SHAFT

OUTLINE OF OPENINGS MORE THAN 2.0 M BELOW SECOND FLOOR WINDOW SILLS

SLOPE TOP OF ROOF SLAB BELOW TO DRAIN

HEAT TRACED ROOF DRAINS

PREFINISHED METAL CAP FLASHING TYP.

SLOPE TOP OF ROOF SLAB BELOW TO DRAIN

11'-10 5/8"
[3.629 M]

A10

6'-0 3/4"
[1.848 M]

10

6" 2 3/4"

4" 2 3/4"

6" 2 3/4"

3" 3/4"

5'-1 1/4"

13 3/8"

6" 2 3/4"

3" 3/4"

5'-3 3/8"

6" 2 3/4"

5'-3 3/8"

6" 2 3/4"

5'-3 3/8"

6" 2 3/4"

NEW CONSTRUCTION

10

3'-4 1/2"

R.O.

1'-3"

2 3/4"

6" 2 3/4"

2 1/4"

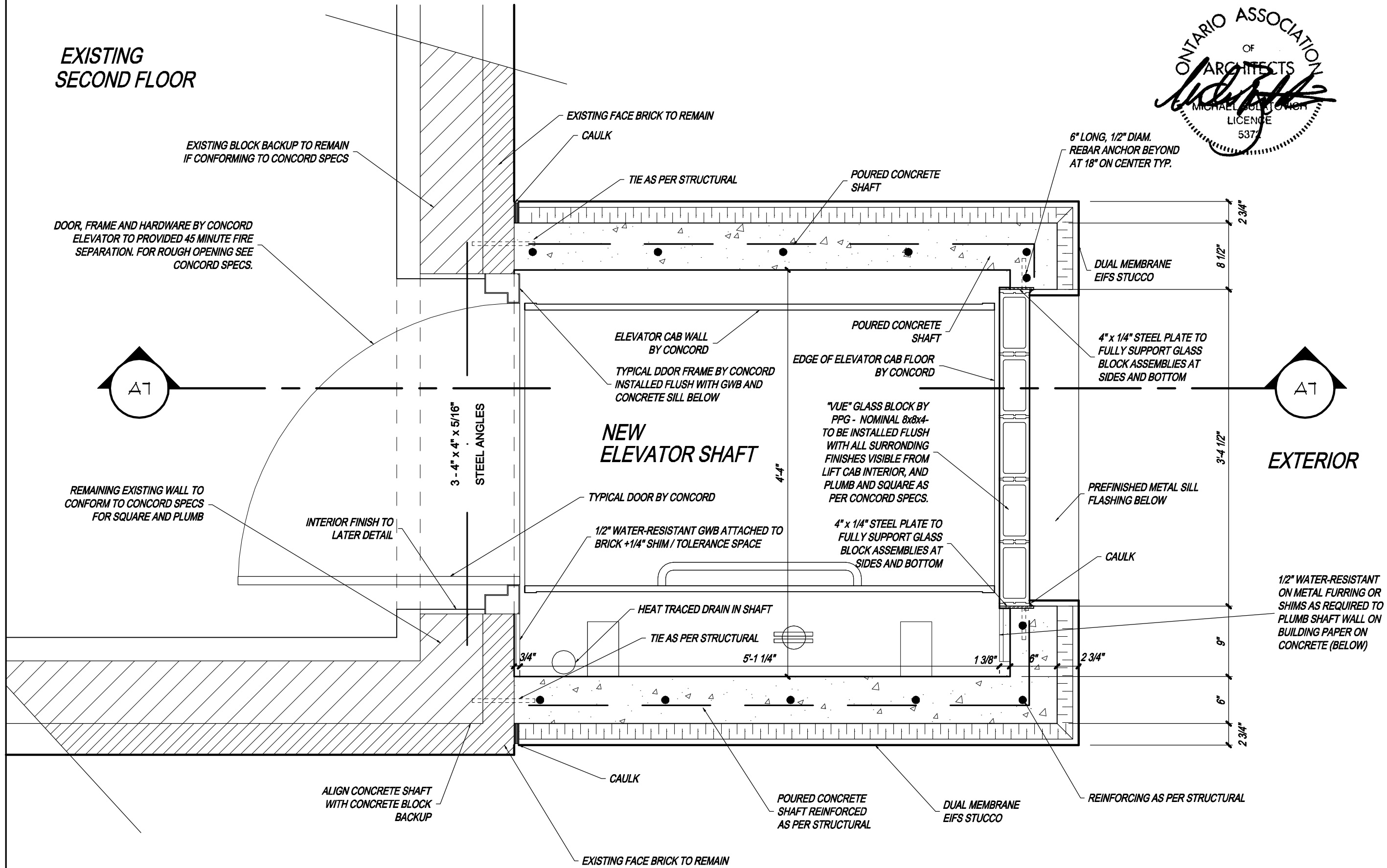
6" 2 3/4"

16

16

A7

**EXISTING
SECOND FLOOR**

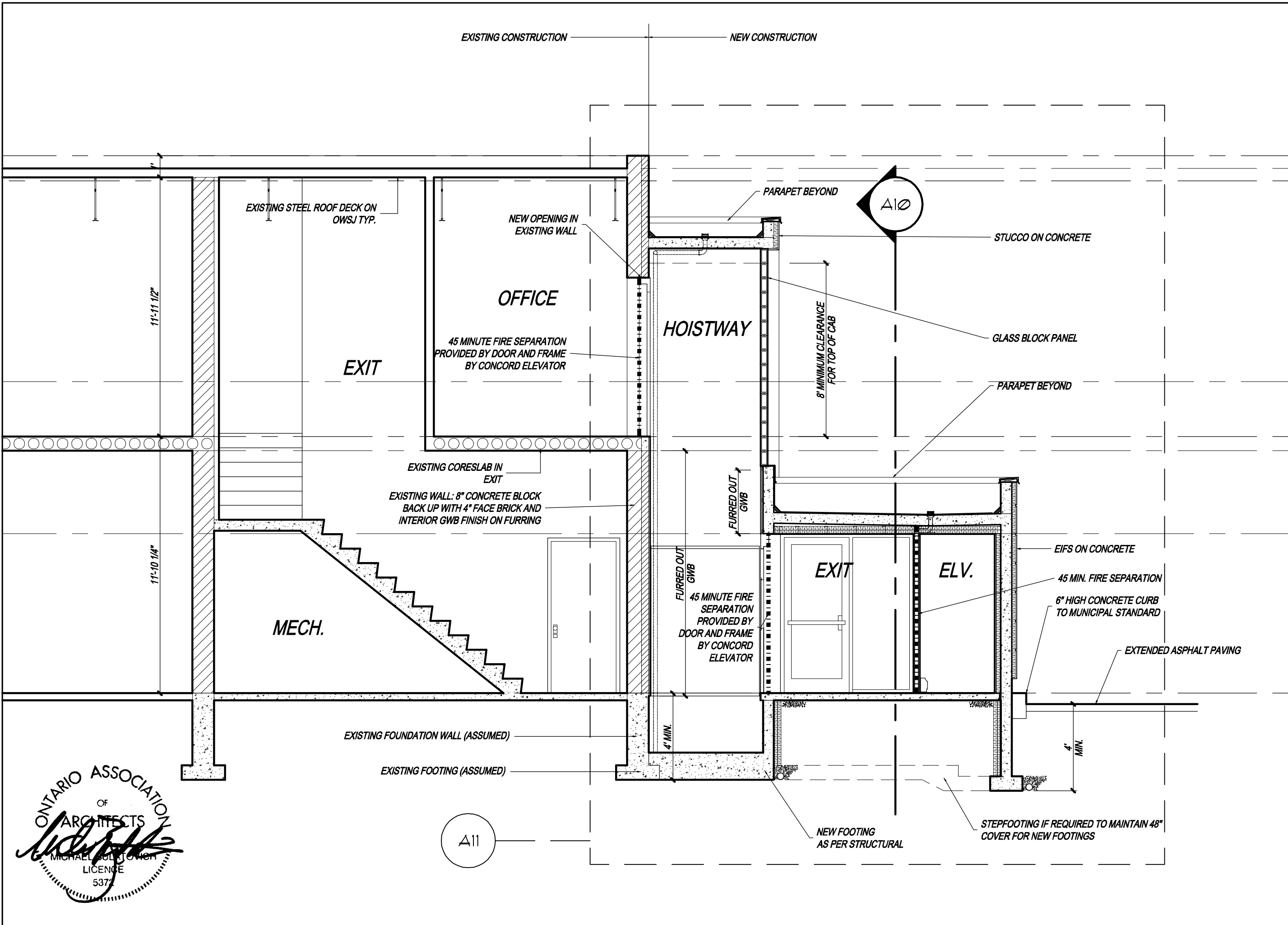


Detail Plan-Upper Shaft
5685 Whittle Road

Drawing No. **A6**
Last Revised: 13may08
Plot Date: 13may08
Project No.: 0703
CAD File: WhittleRd3
Issued for: Permit/SPAX

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Architect
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Cross Section
5685 Whittle Road

Drawing No. **A7**
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Scale: 1/4"=1'-0"
Project No.: 0703
CAD File: WhittleRd3

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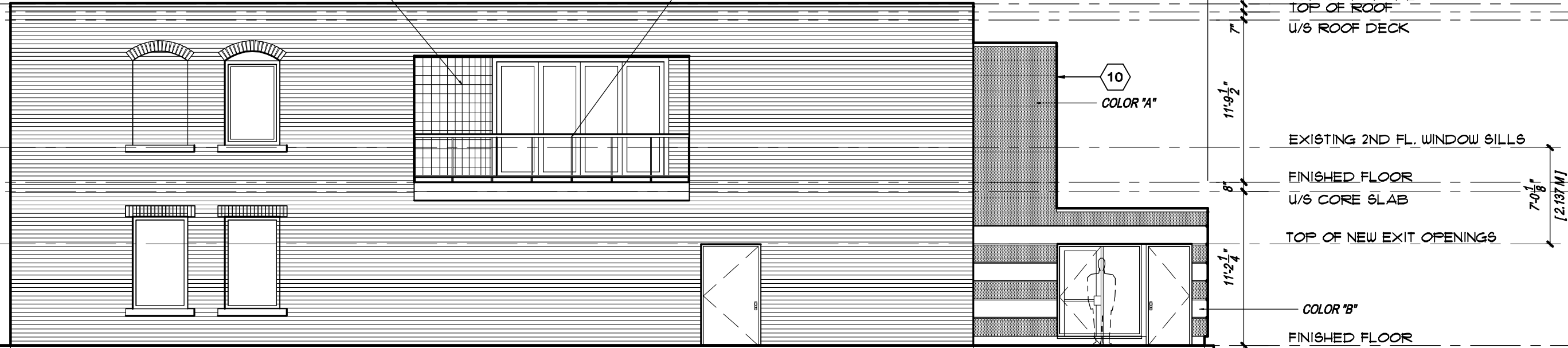
Michael Bulatovich
Architect
Tel.: (416) 406-1531 Fax: (416) 406-5928

EXISTING BUILDING UNCHANGED

NEW ADDITION

EXISTING GLASS BLOCK ASSEMBLY

EXISTING BALCONY GUARD



Drawing No. **A8**

South Elevation
5685 Whittle Road

Scale: 1/8" = 1'-0"
Project No.: 0703
CAD File: WhittleRd3

Last Revised: 13may08
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1 South Elevation
1/8" = 1'-0"

TOP OF PARAPET
TOP OF ROOF
U/S ROOF DECK

EXISTING 2ND FL. WINDOW SILLS
FINISHED FLOOR
U/S CORE SLAB
TOP OF NEW EXIT OPENINGS

COLOR "B"

FINISHED FLOOR

10
COLOR "A"

5

EXISTING GLASS BLOCK ASSEMBLY

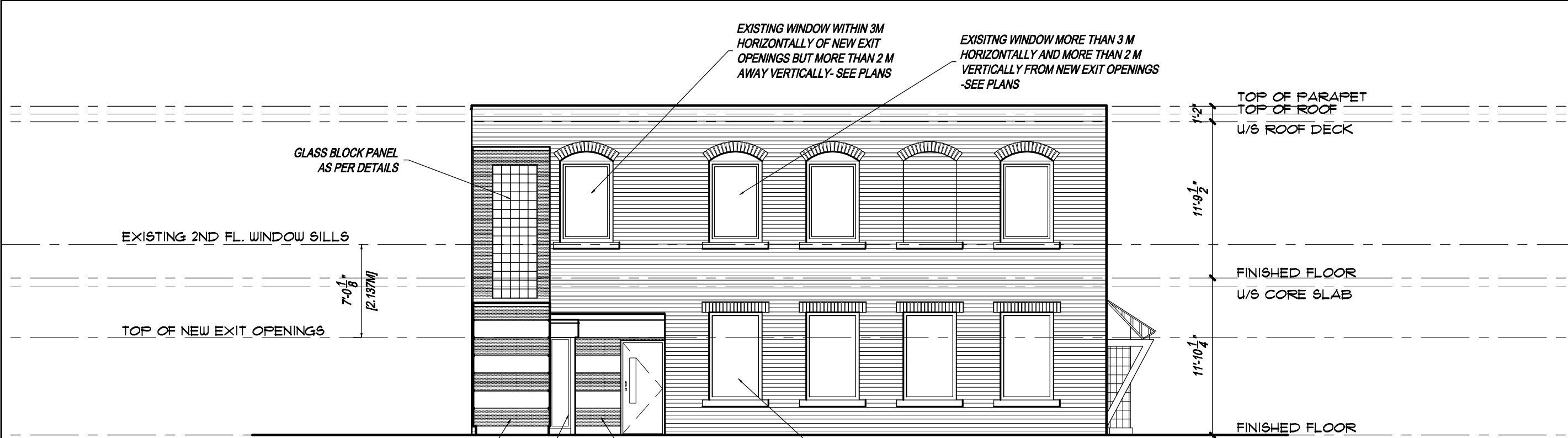
1 North Elevation
1/8" = 1'-0"

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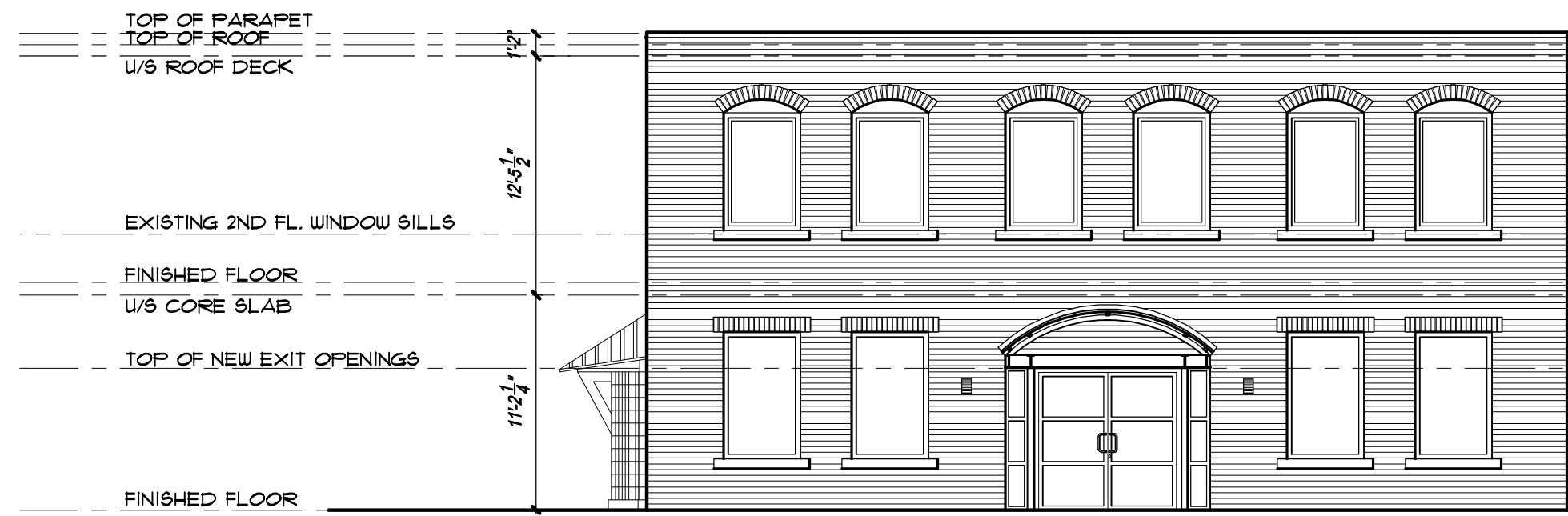
Michael Bulatovich
Architect

Tel.: (416) 406-1531 Fax: (416) 406-5928

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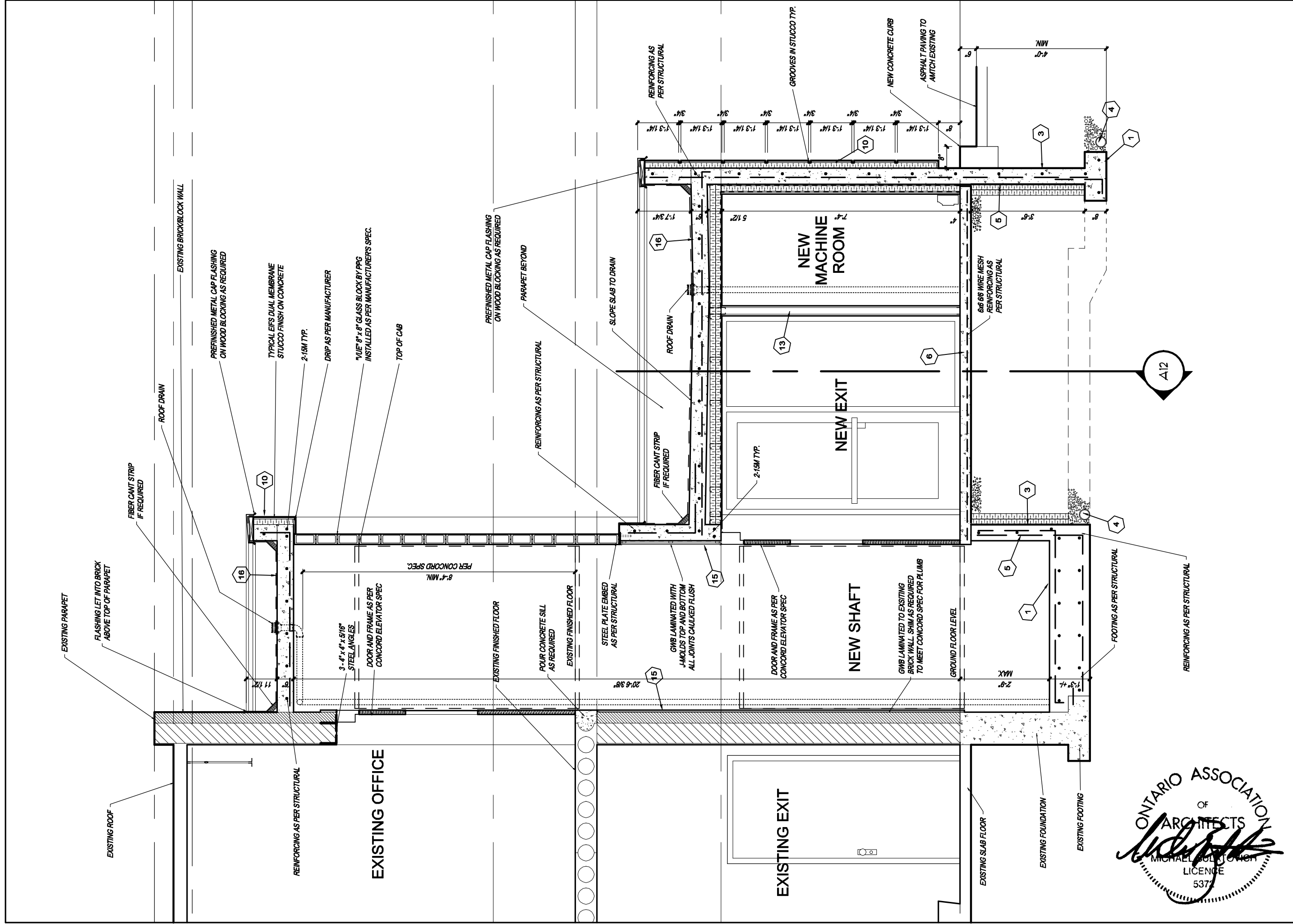


2 East Elevation
 1/8" = 1'-0"



1 West Elevation
 1/8" = 1'-0"





Lobby Long Section
 5685 Whittle Road

Drawing No. **A11**

Scale: 1/2"=1'-0"
 Project No. : 0703
 CAD File: WhittleRd3

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ONTARIO ASSOCIATION OF ARCHITECTS
 MICHAEL BULATOVICH
 LICENCE 5377

CONSTRUCTION NOTES

- 1** FOOTING FOR FOUNDATION WALL
Poured concrete footing as per structural drawings
Width: As per structural drawings.
Thickness: As per structural drawings.
Depth: To bear on undisturbed soil minimum 1.2m (4'-0") below grade.
- 3** FOUNDATION WALL DRAINAGE
Drainage to be provided at bottom of every exterior facing foundation wall. Use one of the following drainage systems installed next to the exterior waterproofed surface of the foundation wall, extending to footing level.
a) not less than 19mm (5/8") mineral fibre insulation,
b) not less than 100mm (4") free draining granular material, or
c) Miradrain system or approved equivalent
- 4** WEEPING TILE
100mm (4") diameter
1% slope to drain
150mm (6") granular cover
To extend around all outside footings and to connect to city services.
- 5** FOUNDATION WALL
Poured concrete as per structural. See structural plans for size.
Foundation wall to extend to min. 150mm (6") above grade
Check foundation wall at shopfronts and doors.
- 6** GROUND FLOOR SLAB
Concrete slab and reinforcing as per structural
150mm (6") crushed stone
Compacted or undisturbed soil
- 10** TYPICAL EXTERIOR MASONRY WALL
Acrylic stucco finish system by Dryvit, Sto, or approved equal.
2" approved rigid insulation substrate as per elevation
Back up membrane and adhesive
All details as per dual membrane type installation including flashings and weep holes.
Color and finish to be chosen and approved by the architect.
Poured concrete walls
No. 15 building paper
12.7mm (1/2") air space
2 1/2" Light gauge steel studs as per plans and structural engineer's specs.
2 1/2 " rigid styrene insulation between studs
6 mil polyethylene vapour barrier.
15.9mm (5/8") gypsum board.
Tape, seal and sand gypsum wall board smooth
Paint/paper interior finish

- 13** 3/4 HR RATED INTERIOR STUD PARTITION
2 1/2" Light gauge steel studs as per plans
400mm (16") O.C. hor.
15.9mm (5/8") Type X gypsum wallboard both sides
- 14** 3/4 HR RATED INTERIOR CONCRETE WALL
Min 6" poured concrete (finish varies)
- 15** FURRED WALL FINISH
Furring as per drawings on masonry wall
Gypsum board as per drawings or as required
- 16** ROOF CONSTRUCTION - FLAT ROOF
4-ply built-up roofing, or approved alternate, with slope as per plans
Concrete slab as per drawings with top sloping to drains
4" Light gauge steel studs as per plans
400mm (16") O.C. hor.
4 " rigid styrene insulation between studs
6 mil polyethylene vapour barrier.
3/8" gypsum board taped and sealed
Paint/paper interior finish
Drains as per plans
All flashings, cants etc to be suitable to roof system finally chosen.
All visible flashings to be prefinished metal of a color chosen by the architect.

GENERAL NOTES

- A. ALL WORK AND MATERIALS**
Are to meet the provisions of the current Ontario Building Code as a minimum standard whether specified on the drawings or not.
- B. SOIL BEARING CAPACITY**
Footings to rest on undisturbed soil of adequate capacity for loads applied.
To be confirmed by soil engineer/engineer as required.
- C. PREFABRICATED ITEMS**
All prefabricated items such as steel, stone, windows and cabinets are to be site measured by contractor, manufacturer or installer prior to construction of the item. Discrepancies to be reported to the architect
- D. GLAZING**
All exterior glazing to be sealed units.

STATISTICS

| STATISTIC | EXISTING | PROPOSED |
|-------------------------------------|---------------|-----------------------|
| ZONING CATEGORY: | E2 | E2 |
| LOT AREA: | 1469.95 SQ.M. | 1469.95 SQ.M. |
| BUILDING COVERAGE AREA: | 312.848 SQ.M. | 323.637 SQ.M. |
| LOT COVERAGE PERCENTAGE: | 21.3% | 22% |
| LANDSCAPED AREA: | 656.386 SQ.M. | 645.602 SQ.M. |
| PAVED AREA: | 500.716 SQ.M. | 500.711 SQ.M. |
| PARKING SPACES: | UNCHANGED | UNCHANGED |
| LOADING SPACES: | UNCHANGED | UNCHANGED |
| HANDICAPPED PARKING SPACES: | 1 | 2 |
| GROSS FLOOR AREA: | 614.481 SQ.M. | 628.504 SQ.M. |
| GROSS FLOOR AREA - NON RESIDENTIAL: | EXISTING | 4.97 SQ.M. ADDITIONAL |
| SETBACK - FRONT: | 18.85 M | 18.85 M |
| SETBACK - REAR: | 29.81 M | 24.64 M |
| SETBACK - SOUTH SIDE: | 4.5 M | 4.5 M |
| SETBACK - NORTH SIDE: | 10.3 M | 10.3 M |



Drawing No. **A12**
 Notes and Statistics
 5685 Whittle Road
 Scale: nts
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